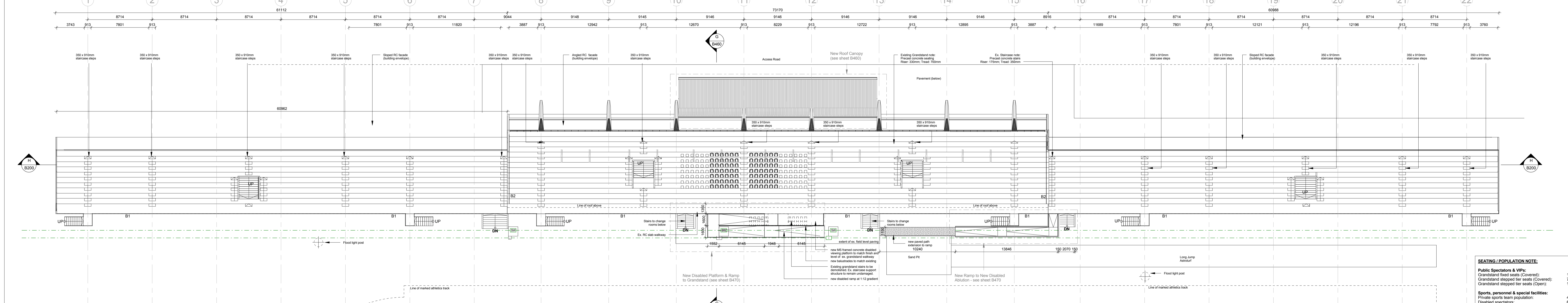


03 Ground Floor Plan
1: 200@A1



04 Grandstand Level Plan
1: 200@A1

GENERAL NOTES

- City figured dimensions to be taken.
- All levels to be checked on site and on drawings, any discrepancies to be reported to the architect before any work is put in hand.
- All structural work to be checked by an engineer, all work to be in accordance with SANS 10400.
- Soil conditions to be approved by soil engineer.
- The drawing is the property of 26'10 south Architects. Copyright is reserved by them and the drawing is issued on the condition that it is not copied, reproduced, retained or disclosed to any unauthorized person, either wholly or in part without the written consent of 26'10 south Architects before any work is put in hand.

DRAINAGE NOTES

- All drainage to comply with NBR as per SANS10400 Part P.
- All pipes passing under the building to be protected against the loads of the structure.
- Rodding eyes at all changes of direction of drain.
- Inspection eyes at all bends and junctions of drain.
- Reseal traps at all waste fittings.
- Waste pipes to be fully accessible along entire length.
- No bends and junctions under building.
- All work to comply with local authority by-laws.
- Open vent pipe at the highest point of the plumbing installation.

DRAINAGE LINES:

- Soil pipe
- Waste pipe
- Vent pipe

EXISTING DRAINAGE

Precise position of the existing main sewer line unknown, position to be determined on site under supervision of contractor. All new drainage to connect to located main pipe.

STORMWATER DRAINAGE

All new surfaces adjacent to house to be laid to minimum 1:100 fall away from building. Natural site watershed to drain to existing stormwater facilities.

BRICKWORK

All new or patched walls to be standard 230mm or 115mm brick masonry walls, as shown. All brickwork to be plastered, primed and painted with good quality product and sufficiently sealed & waterproofed. Foundations & structural ribs per eng. spec.

ANNOTATION LEGEND:

- B1 1000mm ht. MS Balustrades fixed to grandstand walkway edge seating
- B2 1000mm ht MS balustrades fixed to grandstand concrete seating
- C1 IBR metal sheeting
- C2 Clear IBR sheeting
- F1 Foundations & Footing sizes not known.
- F2 Structural Column footing not known.
- S1 solid precast concrete as grandstand seating
- W1 230mm Face Brick Wall, interior plastered, primed & painted to Arch spec.
- W2 115mm interior wall. Plastered, primed & painted to Arch spec.

ABBREVIATION LEGEND:

- ex. ht. Existing Height
- wt. Water Closet (Toilet)
- whb. Wash Hand Basin
- sh. Shower
- ur. Urinal
- ur. ur. Urinal
- dbl. Double
- g. Gully
- i.e. Inspection Eye
- rd. Roofing
- r.e. Rainwater
- mh. Manhole
- vp. Vent Pipe
- o.v. Open Vent Pipe
- sw. Storm Water Drain
- sw. sw. Storm Water Channel
- rc. Rainwater Down Pipe
- rc. Reinforced Concrete
- pc. Precast Concrete
- ms. Mild Steel
- iv. Irrigation valve

ELECTRICAL LEGEND:

- 1 x 30W fluorescent tube light
- 2 x 75W fluorescent tube lights
- 1 x 40W fluorescent tube light
- 13W ceiling-mounted CFL
- 13W CFL wall-mounted outdoor light
- 1 x 38W fluorescent tube light
- 1 x 58W fluorescent tube light
- 1 x 40W fluorescent tube light
- 2 x 58W fluorescent tube lights
- 100W MH high-mast flood lights [x5]
- Distribution Board [DB]

SCHEDULE OF RIGHTS:

ZONING ALLOWED:
Use zones Educational
Height zone: 0 (3 stories)
Building Lines: 6m along street boundary
FAR: 2.1
Coverage: 70%
Density: No density
Parking: As per scheme. Not specified for stadia in JHB Town Planning Scheme 1975, see clause 53 (1)(b) & (c). Requirement deemed.
0.5 spaces per player & 0.3 per spectator.

ZONING ACHIEVED:
Height: 2 storeys
Building Lines: 6m from St. Andrews Road
FAR: 0.84
Coverage: 15.49%
Parking: 620 required per given populations.
1965 bays available on site, (453 bays around Hockey field)
Requirements satisfied.

AREA SCHEDULE:

Total Area of Site (all portions/ervens):	249 195.00 m ²
Total Area of Existing buildings on site:	46 667.62 m ²
Covered Area =	155 227.13 m ²
Gross Floor Area =	155 227.13 m ²
Total Area of Additions:	1 904.85 m ²
Covered Area =	3 809.69 m ²
Gross Floor Area =	3 809.69 m ²
Total Area of All buildings (ex. & new):	48 572.47 m ²
Covered Area =	159 036.82 m ²
Gross Floor Area =	159 036.82 m ²

REV.	DATE	DESCRIPTION
1	17.10.31	Council & Tender Info
2	17.11.28	Call for Tender

CLIENT
WITS UNIVERSITY

PROJECT
116HOCC

STAND NO.
Even 132-135, 145-148, 804, 1/858 & R/858

TOWNSHIP
Parktown

DWG. TITLE
116HOC GRANDSTAND LAYOUT PLANS

DWG NO.	B100
REV. NO.	2
DATE	17.11.28
SCALE	AT A1
DRAWN BY	PW
CHECKED BY	SF

26'10 SOUTH ARCHITECTS

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e info@2610south.co.za

SEATING / POPULATION NOTE:

Public Spectators & VIPs:	168
Grandstand fixed seats (Covered):	732
Grandstand stepped tier seats (Covered):	1100
Grandstand stepped tier seats (Open):	1100

Sports, personnel & special facilities:

Private sports team population:	40
Disabled spectators:	6
Staff/personnel:	4

Total (approx.) Population: 2059
(Excl. external stepped embankment seating on field)

FOOTPRINT AREAS NOTE:

Main Grandstand (Covered - partially):	961 m ²
South Grandstand (Open):	451 m ²
North Grandstand (Open):	459 m ²
Roof Canopy (Covered: external):	157.4 m ²
Players Pavilion (Covered, external, on field):	64.6 m ²
New Video Tower (Covered, external, on field):	12.0 m ²
Total (approx.) Area:	2550 m²